

DETERMINATION AND STATEMENT OF REASONS

SYDNEY WEST CENTRAL PLANNING PANEL

DATE OF DETERMINATION	Wednesday, 10 May 2017
PANEL MEMBERS	Edward Blakely (Chair), Mary-Lynne Taylor, Paul Mitchell, David Ryan and Richard Thorp
APOLOGIES	None
DECLARATIONS OF INTEREST	None

Public meeting held at Mantra Parramatta on Wednesday, 10 May 2017, opened at 12:30pm and closed at 12:45 pm

MATTER DETERMINED

2016SYW120 – Parramatta – DA/523/2016 AT 8 Burbang Crescent RYDALMERE (AS DESCRIBED IN SCHEDULE 1)

PANEL CONSIDERATION AND DECISION

The Panel considered: the matters listed at item 6, the material listed at item 7 and the material presented at meetings and the matters observed at site inspections listed at item 8 in Schedule 1.

The Panel determined to approve the development application as described in Schedule 1 pursuant to section 80 of the *Environmental Planning and Assessment Act 1979*. The Panel adjourned during the meeting to deliberate on the matter and formulate a resolution. The decision was unanimous.



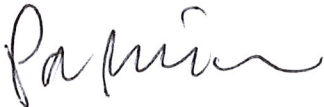


REASONS FOR THE DECISION

The Panel determines the application by granting approval for the following reasons:

1. The proposed development is permissible in the R4 zone and satisfies the requirements of all applicable planning instruments, with one minor exception being the maximum building height.
2. A written request to vary the building height standard has been received. The variation sought is minor – 250mm – and it will not have any adverse impacts. As such compliance with the standard is unnecessary. Further variation will enable development that is consistent with that given in the objectives for the zone and will provide a better outcome being a superior building design. Accordingly, the panel believes there are sufficient environmental planning grounds to justify the variation and finds that the application is satisfactory. The Panel is therefore satisfied that the Applicant's clause 4.6 variation request has adequately addressed the matters required to be demonstrated in clause 4.6(3) of the Parramatta LEP and that the proposed development will be in the public interest because it is consistent with the objectives of the building height control and the objectives for development within the R4 zone in which the development is proposed to be carried out.
3. The site of the proposed development is close to public transport, retail and community services.
4. The development will be compatible with the emerging and planned future character of the area as shown by the required character test.
5. This application will add to the supply and range of housing available in the locality and thus contribute to improved housing affordability.
6. For the reasons given above approval of the application is in the public interest.

CONDITIONS

The development application was approved subject to the conditions in the Council Assessment Report.

PANEL MEMBERS	
 Edward Blakely (Chair)	 Mary-Lynne Taylor
 Paul Mitchell OAM	 David Ryan
 Richard Thorp	

SCHEDULE 1		
1	PANEL REF – LGA – DA NO.	2016SYW120 – Parramatta – DA/523/2016
2	PROPOSED DEVELOPMENT	Demolition of three (3) existing dwellings, tree removal and construction of a part 3 and part 4 storey Residential Flat Building with basement car parking.
3	STREET ADDRESS	8 Burbang Crescent RYDALMERE (Lot 2 DP 31350)
4	APPLICANT OWNER	Zhinar Architects Pty Ltd Mr B Onorato and Mrs B Onorato
5	TYPE OF REGIONAL DEVELOPMENT	General development over \$20 million
6	RELEVANT MANDATORY CONSIDERATIONS	<ul style="list-style-type: none"> • Environmental Planning and Assessment Act 1979 • Environmental Planning and Assessment Regulations 2000 • Water Management Act 2000 • State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 • State Environmental Planning Policy (Infrastructure) 2007 • State Environmental Planning Policy (State and Regional Development) 2011 • Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005 • State Environmental Planning Policy No 55 – Remediation of Land • State Environmental Planning Policy No 65 (Design Quality of Residential Apartment Development) and Apartment Design Guide • Parramatta Local Environmental Plan 2011 • Parramatta Development Control Plan 2011 • Clause 4.6 Variation Request

		<ul style="list-style-type: none"> • The likely impacts of the development, including environmental impacts on the natural and built environment and social and economic impacts in the locality • The suitability of the site for the development • Any submissions made in accordance with the <i>Environmental Planning and Assessment Act 1979</i> or regulations • The public interest, including the principles of ecologically sustainable development
7	MATERIAL CONSIDERED BY THE PANEL	<ul style="list-style-type: none"> • Council assessment report: 19 April 2017 • Written submissions during public exhibition: one (1) • Verbal submissions at the public meeting: <ul style="list-style-type: none"> ○ On behalf of the applicant – Brad Delapierre
8	MEETINGS AND SITE INSPECTIONS BY THE PANEL	<ul style="list-style-type: none"> • Site visit and briefing meeting on 18 November 2016
9	COUNCIL RECOMMENDATION	Deferred commencement consent – creation of a drainage easement
10	DRAFT CONDITIONS	Attached to the council assessment report